

HISTORIC REVIEW BOARD POLICY #12: Solar Technology

A Guide for Property Owners



ABOUT THE HRB POLICIES

The City has adopted protections for locally designated properties to ensure these historic buildings maintain their integrity.

The Historic Review Board (HRB) adopted policies for minor alterations to historic structures that can be done without formal Board review. The policies are meant to provide clear direction to historic property owners on exterior changes including but not limited to roofing, siding, windows and doors. HRB Policies were first adopted in 1986 and updated in 2019.

Locally designated properties are subject to HRB Policies. This includes designated structures in McLoughlin Conservation District, all structures in Canemah National Register District, and landmarks outside of districts. To see if a property is designated, visit www.orcity.org/maps/historic-resources.

HRB POLICY #12: SOLAR TECHNOLOGY

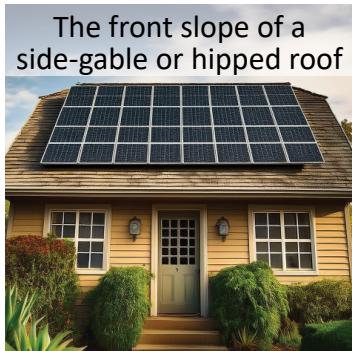
Adding solar panels to historic properties can impact the character and visual qualities that convey a property's significance. Solar panel installations are permitted when standards can be met, but should not become prominent new elements that detract from the character-defining features of a historic building or landscape.

WHAT DOES THIS MEAN FOR YOU AND YOUR PROPERTY?

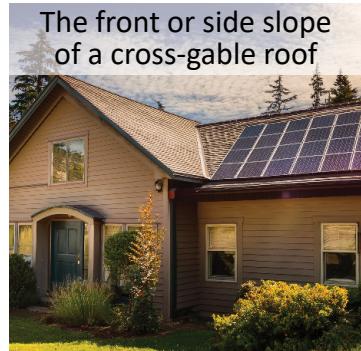
Solar installation that meets the criteria on the following page may be utilized on historic properties through staff review. Any proposal that deviates from this policy shall be considered by the Historic Review Board.

The Historic Review Board fee for alterations is \$50 plus mailing labels. When the HRB is considering solar proposals that do not meet the policy, the Secretary of Interior's Standards are used as guidance. The Secretary of Interior Standards on Solar Panels on Historic Properties can be found at: www.nps.gov/tps/sustainability/new-technology/solar/park-solar.htm.

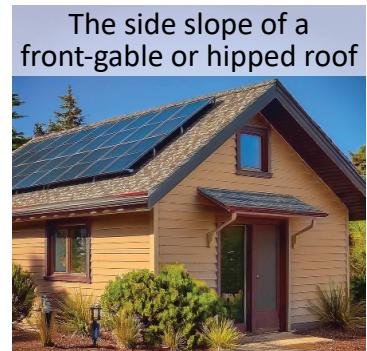
EXAMPLES OF SOLAR LOCATIONS THAT REQUIRE HRB REVIEW:



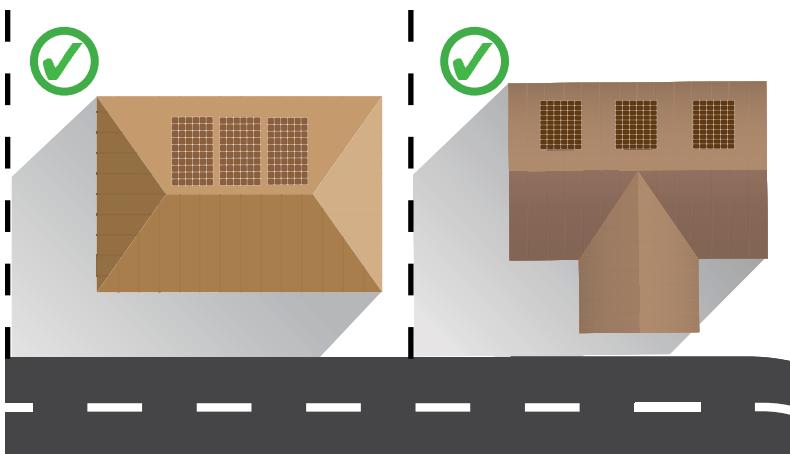
The front slope of a side-gable or hipped roof



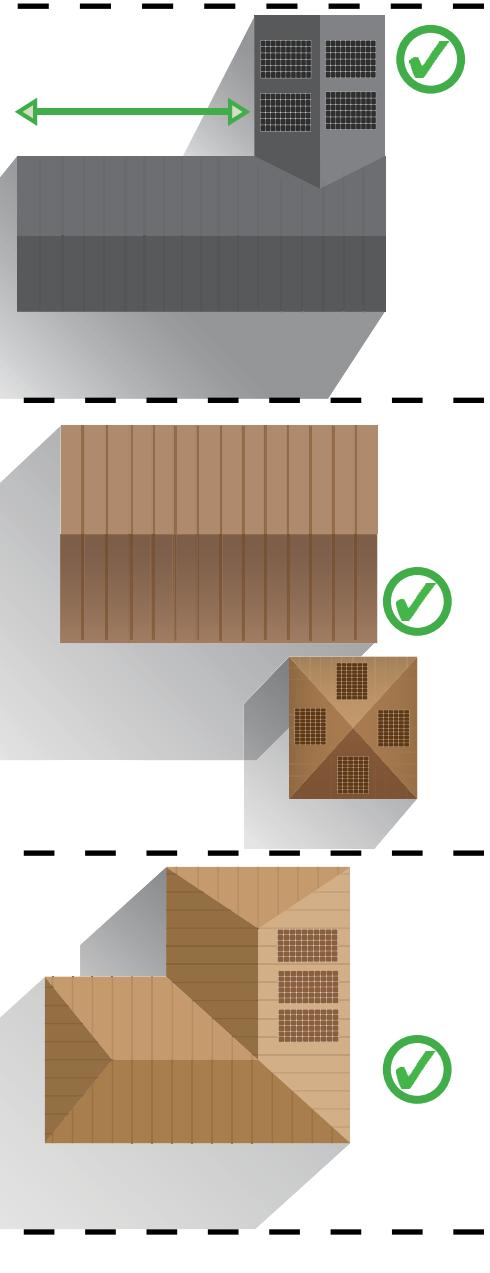
The front or side slope of a cross-gable roof



The side slope of a front-gable or hipped roof



EXAMPLES OF SOLAR LOCATIONS THAT MAY BE APPROVED BY PLANNING STAFF:



SOLAR INSTALLATION POLICY STANDARDS

Sloped roof: Solar panels are permitted on secondary façades of historic buildings and on accessory structures. Street-facing solar on historic buildings may be permitted by staff when the solar panels are on a non-primary wing and are sufficiently set back from street-facing façades.

Design: Panels on sloped roofs shall be installed flat and project 5" or less from the roof surface; panels shall not alter the roof's slope.

Color: Panels and mounting systems shall be the same color as established roof materials. Mechanical equipment associated with the photovoltaic system shall be as unobtrusive as possible.

Shingles: Solar shingles are permitted on secondary facades if they match the roof color.

Freestanding: Freestanding or detached on-site solar technologies are permitted in locations behind the front of the home in side and rear yards, unless the side or rear yard abuts an improved public right of way.

Flat roof structures: Solar panel installations on flat roofs shall be set back at least five feet from the roof edge to minimize visibility—unless fully obscured from the street by a parapet.

Please note that permits from the Building Division are required for solar installation.

Further information about the HRB and HRB Policies can be found at: www.orcity.org/planning/hrb-policies

If you have any questions about the City's Preservation Program or if your property is locally designated, please contact: 503-722-3789 or ocplanning@orcity.org

The activity that is the subject of this guide has been financed in part with Federal funds from the National Park Service, U.S. Department of the Interior. However, the contents and opinions do not necessarily reflect the views or policies of the Department of the Interior, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Department of the Interior.

City of Oregon City
Planning Division

695 Warner Parrott Rd

Oregon City, OR 97045

503.722.3789

www.orcity.org/planning

