

OREGON CITY HISTORIC REVIEW BOARD POLICIES

HISTORIC REVIEW BOARD POLICY #7:

Construction of Accessory Structures

A Guide for Property Owners



ABOUT THE HISTORIC REVIEW BOARD POLICIES

The City has adopted protections for locally designated properties to ensure these historic buildings maintain their integrity.

The Historic Review Board (HRB) adopted policies for minor alterations to historic structures that can be done without formal Board review. The policies are meant to provide clear direction to historic property owners on exterior changes including but not limited to roofing, siding, windows and doors. HRB Policies were first adopted in 1986 and updated in 2019.

Locally designated properties are subject to HRB Policies. This includes designated structures in McLoughlin Conservation District, all structures in Canemah National Register District, and landmarks outside of districts. To see if a property is designated, visit www.orcity.org/maps/historic-resources.

HRB POLICY #7: CONSTRUCTION OF ACCESSORY STRUCTURES

Accessory structures include sheds, detached garages, carports, detached ADUs, and other standalone buildings on the same property as a primary structure. This policy applies to the construction of new accessory structures.

Accessory structures that are 200 square feet or smaller may be reviewed by staff. The criteria to be used by staff in making the decision shall be as follows:

- The building/structure exterior materials shall match the primary resource structure;
- The roofing exterior materials shall match the material on the historic/primary resource structure;
- The accessory structure shall be painted to match the historic/primary resource;
- The structure shall be placed a minimum of three (3) feet from any interior lot line as per OCMC Section 17.54.010-Accessory Structure Standards.

Any structure that does not meet this standard shall be referred or submitted to the HRB for review and decision.



WHAT DOES THIS MEAN FOR YOU?

This means a few things as a property owner with a designated historic property:

- If the accessory structure meets the HRB policy, it is reviewed at the staff level with no application fee.
- If the accessory structure does not follow these policies or is over 200 sq ft, then it must be referred or submitted to the HRB for review and decision, which requires a fee of \$50 plus 2.5% of construction cost, with a maximum cost of \$1,000.
- The HRB can approve exceptions to minimum setbacks as a preservation incentive. Contact Planning staff to learn more about preservation incentives.
- Verify there are no easements in the location where the proposed accessory structure will be built, as well as overlay zones such as the Natural Resource Overlay District, Flood Management Overlay, and Geologic Hazards Overlay. This can be verified on www.maps.OCity.org or by contacting the Planning Department.
- If the accessory structure's wall is over 10 feet in height or if the structure is over 200 sq ft., it will require a building permit. Check with the Building Department regarding building code requirements, including plumbing, electrical, or mechanical equipment permit requirements.



PROHIBITED ACCESSORY STRUCTURES ON LOCALLY DESIGNATED PROPERTIES AND IN HISTORIC DISTRICTS

Metal Structure



Cargo container



Membrane or fabric covered storage area



Further information about the HRB and HRB Policies can be found at: www.ocity.org/planning/hrb-policies

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Oregon City Preservation Program
Phone: 503-722-3789
ocplanning@ocity.org

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OREGON CITY HISTORIC REVIEW BOARD POLICIES

HISTORIC REVIEW BOARD POLICY #11:

Porches and Decks

A Guide for Property Owners



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HRB POLICY #11: PORCHES AND DECKS

Replacement or alteration of porches and decks older than 50 years shall meet HRB Policy #8 (Exterior Alterations to buildings and can be found at www.orcity.org/planning/hrb-policies). The construction of new front porches shall be reviewed by the HRB. Alterations of existing front porches, or construction of new rear porches or decks are permitted without Board review in accordance with the following:

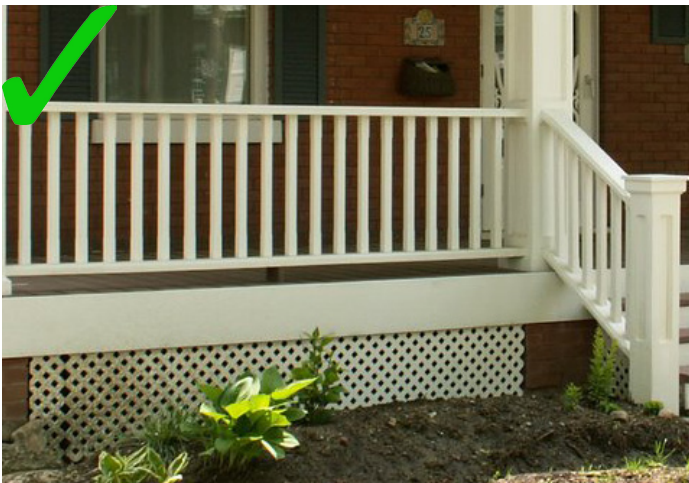
- Porch and deck railings shall use vertical balusters and top and bottom rails. Baluster attachment shall be between the rails, not attached on the side of the rail.
- Wood decks and porches shall be painted to match a color of the designated structure. Paint-stain is also acceptable if it matches a color of the designated structure.
- No pressure treated wood shall be visible.
- Composite material (e.g. Trex, Timbertech, Azek) is allowed only for new or existing decks or porches less than 50 years old that are attached to the rear of a structure, to the interior side of a structure, and for detached deck structures in the interior side or rear yard. Composite material color shall match a color of the designated structure.
- Aluminum rails on porches and decks are not permitted.
- Deck or porch materials made from 100% vinyl are not permitted.



WHAT DOES THIS MEAN FOR YOU?

This means a few things as a property owner with a designated historic property:

- If the porch or deck meets the HRB policy, it is reviewed at the staff level with no application fee.
- New roofs or covers over a porch or deck are considered an addition and must be reviewed by the HRB.
- If the porch or deck does not follow this policy, then it must be referred or submitted to the HRB for review and decision, which requires a fee of \$50.
- A building permit is required if the porch or deck is over 30 inches above finished grade, or if it includes a cover. For commercial properties, contact the Building Department to verify if a permit is required.
- For additional guidance on porches and decks for historic properties, the National Park Service provides technical guidance and can be found at: www.nps.gov/tps/standards/rehabilitation/rehab/entrance01.htm.
- The Secretary of Interior's Standards can be found at: www.nps.gov/tps/standards.htm.



Balusters attached between the rails (permitted)



Balusters attached on the side of the rails (not permitted)

Further information about the HRB and HRB Policies can be found at: www.orcity.org/planning/hrb-policies

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OREGON CITY HISTORIC REVIEW BOARD POLICIES

HISTORIC REVIEW BOARD POLICY #12:

Solar Technology

A Guide for Property Owners



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HRB POLICY #12: SOLAR TECHNOLOGY

Adding solar panels to historic properties can have a significant impact on the character and visual qualities that convey a property's significance. Solar panel installations are permitted under some circumstances, but should not become prominent new elements that detract from the character-defining features of a building or landscape.

Solar technology that meets the criteria in the list below may be utilized on historic properties through staff review. Any proposal that deviates from this policy shall be considered by HRB.

- Sloped roof location: Solar panels are permitted on secondary facades of historic buildings and on accessory structures.
- Design: Panels on sloped roofs shall project five inches or less from the roof surface and be installed flat; they shall not alter the slope of the roof.
- Color: Panels and mounting systems shall be the same color as established roof materials. Mechanical equipment associated with the photovoltaic system shall be as unobtrusive as possible.
- Flat roof structures: Solar panel installations on flat roofs shall be set back at least five feet from the roof edge to minimize visibility unless fully obscured from the street by a parapet.



- Shingles: Solar shingles are permitted on secondary facades if they match the roof color.
- Freestanding: Freestanding or detached on-site solar technologies are permitted in locations behind the front of the home in side and rear yards, unless the side or rear yard abuts an improved public right of way.



WHAT DOES THIS MEAN FOR YOU?

This means a few things as a property owner with a designated historic property:

- If the solar installation meets the HRB policy, it is reviewed at the staff level with no application fee.
- If the solar installation does not follow these guidelines, then it must be referred or submitted to the HRB for review and decision, which will require a fee. Fee for alterations is \$50 plus mailing labels.
- When installing solar technology, building and electrical permits are required from the Building Division. Applications for the permit can be found at: www.orcity.org/building/residential-permits.
- When the HRB is considering solar proposals that do not meet the policy, the Secretary of Interior's Standards are used as guidance. The Secretary of Interior Standards on Solar Panels on Historic Properties can be found at: www.nps.gov/tps/sustainability/new-technology/solar/park-solar.htm.



Further information about the HRB and HRB Policies can be found at: www.orcity.org/planning/hrb-policies

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OREGON CITY HISTORIC REVIEW BOARD POLICIES

HISTORIC REVIEW BOARD POLICY #6:

Fences and Walls

A Guide for Property Owners



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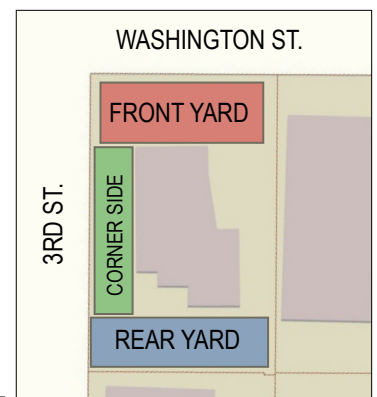
HRB POLICY #7: FENCES AND WALLS

The HRB advises property owners that fences and walls are an extension of the architecture of the house. According to the Secretary of the Interior's Standards for Rehabilitation, additions such as fences "should be compatible with the size, scale, material and character of the property, neighborhood or environment."

Fences in the front yard are typically more open and decorative, while fences in the side and rear yards are more utilitarian.

Front yard fences or walls and corner side yard fences or walls shall be no more than 42 inches in height and shall not create a traffic sight obstruction (as defined in Chapter 10.32 of the Oregon City Municipal Code). Along rear yards and interior side yards (beyond the front building line of the structure), fences or walls may be up to six (6) feet in height. Fences or walls on vacant properties may utilize materials that are in the "ACCEPTABLE" category in front and corner side yards; HRB review is required if rear yard fence types are desired in front/corner side yards.

Staff may approve fences or walls that are listed in the "ACCEPTABLE" category through an



Yard Diagram



administrative review. Fences or walls that are not listed, or that are specifically listed under the “NOT ACCEPTABLE” category shall be submitted for review and decision by the HRB. Fences or walls that are made of “not acceptable” materials may be utilized if fully obscured. Pressure-treated wood may only be used for fence posts and not for any other portions of the fence, and shall be non-incised.

WHAT DOES THIS MEAN FOR YOU?

This means a few things as a property owner with a designated historic property:

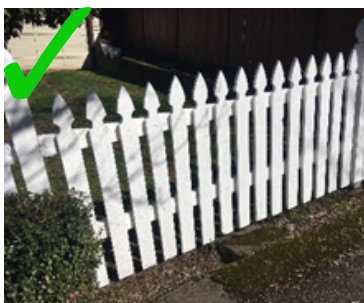
- If the fence is listed in the “acceptable” category, the review is an administrative review at the staff level and does not require an additional permit for this review or any additional fee.
- If the fence is listed in the “not acceptable” category, then it must be referred or submitted to the HRB for review and decision, which will require a fee of \$50.
- If building a retaining wall, contact the building department to verify if a building permit is required.

ACCEPTABLE FENCE AND WALL TYPES IN FRONT AND CORNER SIDE YARDS

DESCRIPTION

EXAMPLE

Wood Picket: Wood fence with vertical pickets spaced at least one inch apart to six inches apart. Pickets may be pointed or straight, and boards may be flat or square. Includes traditional white painted (preferred); unpainted or different color paint is also acceptable. May be scalloped or straight on top, or topped with a railing.



Iron Picket: Includes wrought iron picket fences with simple or ornate designs



Ornamental Cast Iron: Cast iron fences and gates with ornamentation or detailed designs



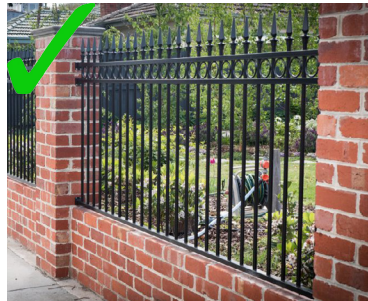
Brick: Includes bricks of any color or size. Allowed in combination with other masonry types



Basalt Stone: Basalt Stone was quarried locally in Oregon City's past. Basalt stone may be mortared or stacked. Basalt Veneer is typically mortared. This does not include manufactured stone veneer products. May be topped with bricks.



Combinations of Iron and Masonry: Brick, stone, or cast-in-place concrete with iron fencing atop or integrated into the wall



Woven Wire: Decorative woven wire with loop top design and with wood posts and rails



Cast-in-place Concrete: Poured concrete wall with smooth or textured finishing

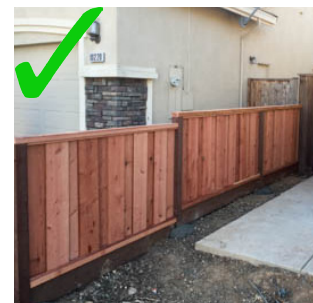


Steel or Aluminum Rail: Permitted only on non-residential properties (e.g. commercial buildings, schools, religious institutions)



Solid Wood Board (Un-spaced Picket):

Vertical wood boards without spaces between boards. May be scalloped or straight on top, or topped with a railing.



NOT ACCEPTABLE FENCE AND WALL TYPES IN FRONT AND CORNER SIDE YARDS

DESCRIPTION

EXAMPLE

Chain-link: Consists of steel wire woven to form a diamond-shaped mesh. Includes uncoated, powder coated, and with or without slats. Also includes chain-link hedge slats.



Post and Rail / Split Rail: Also known as a log fence, zigzag fence, worm fence or snake fence, made out of timber logs, usually split lengthwise into rails. Uses two to four rails and is divided into sections with wood posts.



Concrete Block: Includes pre-cast panels, CMU, hollow or solid blocks. Both split faced and smooth.



Chicken Wire: Unframed fence of thin, flexible metal wire with varied pattern including hexagonal or rectangular shapes. Known as chicken wire, hog wire, or welded wire. May include repeating wood or metal posts.



Solid Wood Board or Stockade: Wood fence with vertical or horizontal boards and no spacing. Includes good neighbor fence and stockade fence. May be topped with square lattice or other wood design. May have a scalloped or straight top. Not allowed when obstructing view of historic structure.



Vinyl/ Plywood / Hardboard or Asbestos Panel: Plastic, vinyl, fiber cement or asbestos panels. Includes solid fences/walls or those designed to look like wood picket fences.



ACCEPTABLE FENCE AND WALL TYPES IN ALLEYS, REAR AND INTERIOR SIDE YARDS	
DESCRIPTION	EXAMPLE

All fence and wall types that are acceptable in front yards and side yards listed on pages 2-4 are acceptable in alleys, rear, and interior side yards.

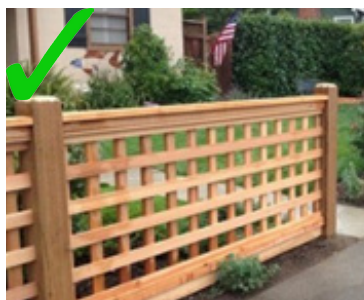
Horizontal Board: Wood fence with at least five horizontal boards. Boards may be spaced or have no spacing. May be topped with square lattice or other wood design.



Solid Wood Board or Stockade: Wood fence with vertical or horizontal boards and no spacing. Includes good neighbor fence and stockade fence. May be topped with square lattice or other wood design. May have a scalloped or straight top.



Wood Lattice: Square vertical/horizontal pattern of wood panels with spacing.



Gabion Wall: Consists of rocks or stones enclosed in a metal wire basket



Goat Fence: Welded wire fence with frame of wood around each panel. Known as wire trellis fence, goat fence or livestock fencing.



Non-basalt stone: May include sandstone, limestone, lavarock, or other rock that would not have been quarried within the Pacific Northwest and used in the historic era



Recycled Concrete: Irregularly sized concrete pieces or chunks stacked like stones.



NOT ACCEPTABLE FENCE AND WALL TYPES IN INTERIOR AND SIDE YARDS

All that are not acceptable in front yard, unless explicitly listed as acceptable in interior side yards, alleyways, and rear yards.

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OREGON CITY HISTORIC REVIEW BOARD POLICIES

HISTORIC REVIEW BOARD POLICY #10: Window Repair and Replacement *A Guide for Property Owners*



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HRB POLICY #10: WINDOW REPAIR AND REPLACEMENT

Original wood windows are important architectural features in any historic building. They are the “eyes” of the structure and they convey a sense of handcraftsmanship and detail that cannot be achieved with substitute materials. The HRB maintains that original windows should be retained and repaired whenever possible. If repair is not feasible, replacement of windows is acceptable in accordance with the following:

- For structures listed individually on the National Register before February 1, 2017, that are also listed as locally designated resources, replacement of windows shall be reviewed by the HRB.
- For locally designated historic landmarks, designated structures in the McLoughlin District, and contributing structures in the Canemah National Register District, wood, aluminum clad wood, and fiberglass clad wood windows are permitted as replacement windows if they match the original window design. A different window type may be used for egress purposes (for example, casement in place of a picture window) as long as the appearance, including muntins, is the same. It is the owner’s responsibility to document the design of the original windows.
- If a structure was originally built with aluminum or vinyl windows, vinyl replacement windows are permitted. The owner shall provide evidence of the original window material.



- On new and existing accessory structures, and on new and existing non-contributing structures in the Canemah National Register District, fiberglass and wood/plastic blended material windows are permitted.
- Interior window grids are not permitted.
- Replacement windows should match dimensions of original window stiles, rails, and sill depth.
- Any proposal that does not meet these policies may be reviewed by the HRB. The applicant shall provide a determination of the window's architectural significance and condition to assist the HRB to determine the repair and replacement options for the property.

Owners of non-designated structures are also encouraged to follow this policy for window repair and replacement.

WHAT DOES THIS MEAN FOR YOU?

This means a few things as a property owner with a designated historic property:

- If the window replacement meets the HRB policy, it is reviewed at the staff level and does not require an additional permit or fee.
- If the window replacement does not follow these policies, then it must be referred or submitted to the HRB for review and decision, which will require a \$50 review fee.
- A building permit is only required for residential properties if the window opening is enlarged. For commercial properties, a building permit is required for any replacement.
- If historic windows are being repaired, no review is required. The HRB provides a grant program to assist property owners in the renovation of locally designated properties. Grants can be given for repair of historic windows. The application can be found at: www.oregoncity.org/planning/historic-preservation-grant.
- The Planning Division provides a list of resources and publications that could be of a help in repairing or replacing historic windows, which can be found at: www.oregoncity.org/planning/resourcespublications.

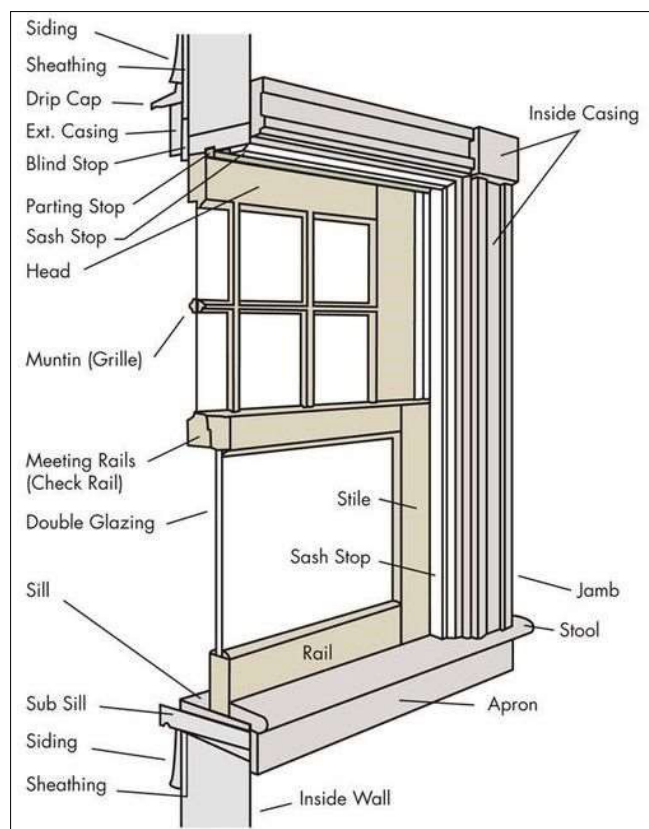
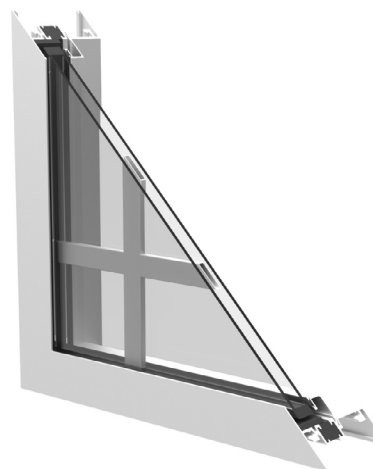


Diagram of the elements of a window



Window with interior grid (not permitted)

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OREGON CITY HISTORIC REVIEW BOARD POLICIES

HISTORIC REVIEW BOARD POLICIES:

#1-5, 8, and 9

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This guide lists seven of the HRB Policies, while the remaining five policies are separated into individual property owner guides.

HRB POLICY #1: CONSTRUCTION AND REPAIR OF FOUNDATIONS

The finished floor elevation of the structure shall not be raised or lowered in relation to the ground level as a result of foundation construction or repair. Any new foundation shall be covered with skirting that matches the original skirting on the structure.

HRB POLICY #2: STORM WINDOWS AND DOORS

Storm window frames and members shall be made of wood, baked enamel, or anodized aluminum. If wooden or enameled, the frames and members shall be painted to match the color of the existing window trim. Mill finish aluminum storm windows are not permitted. Interior storm windows are encouraged.

HRB POLICY #3: REPAIR AND REPLACEMENT OF SIDING

On designated structures and contributing structures in the Canemah National Register District, new siding shall match original siding both in material and style. If fiber cement is desired as a re-placement for wood siding, HRB shall review the proposal. HRB's decision factors will include how well the substitute material matches the original siding in profile and design.

Fiber cement siding is permitted without HRB review under the following circumstances:

- On new and existing detached accessory buildings



- On non-contributing structures in the Canemah National Register District
- As a replacement of vinyl siding on a designated structure
- Only smooth fiber cement boards are permitted
- Shakes or shingles shall have a straight edge

HRB POLICY #4: GUTTERS AND DOWNSPOUTS

Replacement of wooden gutters and downspouts are permitted. Galvanized or enameled aluminum gutters and downspouts shall be painted to match the house. All support straps shall be painted to match the house. New downspouts shall be located to avoid visual interference with architectural features of the street façade. Plastic gutters and downspouts are not permitted. If the downspout empties onto the ground, splashblocks shall be placed at the outflow to disperse the water away from the foundation.

HRB POLICY #5: ROOFS

Structures shall be re-roofed with either wood shingles, 3-tab composition shingles, or “architectural style” composition shingles. If the roof slope is less than 4/12, rolled composition roofing may be used. Red, dark green, black, dark brown or green and white composition material is encouraged. Slate, tile or tar and gravel roofs may be re-roofed with like materials. The following roof materials are not permitted without Board approval: metal, fiberglass, plastic, corrugated roofing, or shake shingles. Any alteration to the overhang, soffit, or rake board requires HRB approval.

HRB POLICY #8: EXTERIOR ALTERATIONS TO BUILDINGS IN NATIONAL HISTORIC DISTRICTS, OR STRUCTURES IN CONSERVATION DISTRICTS OR LANDMARK STRUCTURES

Additions shall be reviewed by the HRB. Other alterations are subject to administrative review. Alterations are permitted if they duplicate existing building materials and styles. Wood siding is encouraged if the siding is replaced. Aluminum and vinyl siding and vinyl and aluminum mill finish windows are not permitted, unless the building was originally constructed of such materials and they are greater than 50% of the materials on the building. Wood sash doors are encouraged. Roof alterations shall conform to HRB Policy #5.

HRB POLICY #9: SCREEN DOORS

Wood storm and screen doors are preferred. If aluminum or other metal storm/screen doors are used, they shall be prefinished or painted a color to match the door or trim. Unless replicating an historic storm/screen door, screen doors shall not obscure the primary door design, and shall not include decorative details or simulated muntins (grids).

WHAT DOES THIS MEAN FOR YOU?

This means a few things as a property owner with a designated historic property:

- If the change or alteration meets the HRB policy (excluding additions), it is reviewed at the staff level with no application fee.
- If the change or alteration does not follow these policies, then it must be referred or submitted to the HRB for review and decision, which will require an application fee of \$50.
- Contact the Building Department staff to verify if building permits are required.

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